

CITY OF SUBIACO
LOCAL PLANNING POLICY 3.5

Development guidelines for places included on the Heritage List

ADMINISTRATIVE

Version	Date	Comment
1.0	22 November 2016	Adopted
1.1	20 July 2021	Reviewed

AUTHORITY

- Planning and Development (Local Planning Schemes) Regulations 2015 (**LPS Regulations**)
- City of Subiaco Local Planning Scheme No. 5 (**Scheme**)
- State Planning Policy 7.3 – Residential Design Codes Volume 1 (**R-Codes Volume 1**)

STATUTORY BACKGROUND

This local planning policy (**the policy**) is made pursuant to Schedule 2, Part 2, Division 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (LPS Regulations) relating to local planning policies.

The City of Subiaco’s Heritage List is made under clause 8 of Schedule 2 Deemed provisions for Local Planning Schemes of the LPS Regulations, and comprises places of cultural heritage significance to the City of Subiaco and worthy of built heritage conservation.

Where a provision of a relevant local planning policy is inconsistent with the provisions of this policy, the provisions of this policy prevail.

PURPOSE

- a) To provide a framework for the conservation, adaptation and development of places included on the Heritage List.
- b) To provide a framework to enable development applications for places included on the Heritage List to be assessed in a consistent and transparent manner.
- c) To provide guidance to property owners, architects, designers, developers and the community on the acceptable standards for the conservation, adaptation and development of places included on the Heritage List.

APPLICATION

This Policy applies to places that are included on the Heritage List in conjunction with the Scheme, the R-Codes Volume 1 and any other relevant local planning policies.

POLICY

1.0 Objectives

- (a) To conserve places on the Heritage List so as to retain, and where possible, reveal and enhance their cultural heritage significance for the benefit of current and future generations.
- (b) To ensure that development respects and supports the cultural heritage significance of a heritage place.
- (c) To promote high quality innovative design, which positively responds to the heritage place, ensuring its ongoing significance and appreciation.

2.0 Definitions

- (a) The following terms are defined for the purpose of this policy:

Conservation Management Plan (CMP) a document that sets out what is significant about a place and what policies are appropriate to enable that significance to be retained in its future use and development.

Deemed Provisions means the provisions contained in Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

Existing building means a fully completed building or structure, including any areas appurtenant to the building or structure such as alfresco areas, balconies, outdoor spaces or the like but does not include existing authorised vehicle parking bays.

Heritage Impact Statement (HIS) a report that assesses the impacts that may result from a proposed development on the cultural heritage values of a place or area.

Heritage List means the City's Scheme Heritage List.

Scheme means City of Subiaco Local Planning Scheme No. 5.

- (b) All other terms, words and expression used in this policy have the same meaning as they have in the Scheme.

3.0 Development Application requirements

3.1 The Deemed Provisions and the City's Local Planning Policy related to Development Approval Exemptions establish where development approval is required in relation to places included on the Heritage List.

3.2 Development approval is not required for works to the interior of a place on the Heritage List if the Statement of Significance states that the interior does not have heritage significance.

3.3 Depending on the scale and nature of the development, the City requires following documents be provided in support of an application for development approval:

3.3.1 Heritage Impact Statement

(a) A HIS is required for applications that propose:

- (i) Partial or full demolition;
- (ii) Change of use;
- (iii) Significant alterations or additions to a place on the Heritage List; and/or
- (iv) Where the proposal departs from the provisions of this policy and/or when the proposal is seeking variations to any requirement of the Scheme in accordance with Clause 12 of Part 3 of the Deemed Provisions.

(b) A HIS is to set out the following matters:

- (i) The heritage listing and significance of the place;
- (ii) How the proposed works affect the significance of the place or locality;
- (iii) The measures proposed to ameliorate any adverse impacts; and
- (iv) Outline the heritage conservation benefits resulting from the development.

3.3.2 Conservation Management Plan

(a) A CMP may be required for applications that propose substantial alterations and additions (including partial demolition) to a complex heritage place. In addition, where a development bonus is being sought on the grounds of heritage conservation a CMP should be prepared to inform development.

(b) Where a CMP is available, this, or relevant sections of the CMP, should be provided with the development application.

3.3.3 A Structural Engineer Report shall be submitted with applications for development approval that propose total demolition of a building on the Heritage List. Such a report may be required by the City where partial demolition of significant fabric is proposed.

- 3.4 The City may require an Archival Record to be prepared as a condition of development approval for a building on the Heritage List that is to be partially demolished or substantially altered.
- 3.5 The City may consider imposing a condition of development approval relating to any works to ensure the works are undertaken in a manner that does not irreparably damage original or significant heritage fabric, and the rectification of any damage where works are subsequently removed.
- 3.6 The City may require an Interpretation Strategy to be prepared and implemented as a condition of development approval for publicly accessible buildings on the Heritage List that are to be partially demolished or substantially altered. An Interpretation Strategy is to set out:
 - 3.6.1 Key themes and stories to be interpreted;
 - 3.6.2 Key messages about the place to be conveyed;
 - 3.6.3 The likely audience and what type of interpretation is best suited to them; and
 - 3.6.4 Strategies outlining interpretation initiatives/projects to be implemented.
- 3.7 Where a place is included on the State Register of Heritage Places, the City must refer the development application to the Heritage Council for advice. The City is bound by the advice of the Heritage Council and it is recommended that an applicant engage with the Department of Planning Lands and Heritage early in the design process.

4.0 Development Guidelines

Heritage places are unique and varied, which makes it difficult to develop universal policy provisions that set out what changes are acceptable and what are not. Whilst this policy is to be carefully considered as part of the design process, each Development Application will be assessed on its merits taking into consideration the level of significance of the place and how the proposal responds to and respects that significance.

4.1 Heritage Significance

Prior to considering changes to a place on the Heritage List, it is necessary to understand its significance. The cultural significance of a place will be set out in a 'Statement of Significance' within a Place Record Form or within a detailed Heritage Assessment or CMP (if one exists). Understanding the significance of a place will help inform design responses and highlight aspects of the place that need to be sensitively managed. As a general rule, the greater the significance of the fabric or a feature of a place the more care should be taken in actions which may affect it.

- 4.1.1 The following matters shall be taken into consideration for the development of a place on the Heritage List:
 - (a) Development should be informed by an understanding of and respect for the significance of the place.

- (b) Development should conserve and protect the cultural significance of the place and its component parts. Conservation requires a cautious approach of changing as much as necessary, but as little as possible.
- (c) When the opportunity is available, development should also reveal the significance of a place. For example, reversing previous unsympathetic alterations which compromise the authenticity of the place.

4.2 Demolition

Demolition of significant fabric or a whole place is a permanent and irreversible change that is generally not acceptable and requires the applicant to provide the strongest justification. The City encourages applicants to explore new uses for Heritage Listed buildings or to incorporate them into new developments to ensure their retention and continued contribution to the fabric and story of the City.

4.2.1 The following matters shall be taken into consideration where demolition is proposed in relation to a place on the Heritage List:

- (a) Demolition of significant fabric or a whole place will not be permitted unless there are exceptional reasons why the significant fabric or place cannot be retained in its original or a reasonably modified form.
- (b) Demolition will not be approved based primarily on the grounds that redevelopment is a more attractive economic proposition, or because a building has been neglected.
- (c) Where it can be conclusively demonstrated by a suitably qualified professional that the building is beyond repair, both physically and economically, or the significance of the place has been diminished to a degree that it cannot be re-established, demolition may be approved if there is no feasible or prudent alternative.
- (d) Heritage buildings should generally remain in their historical location as a place's cultural significance is often derived from the historical relationship of the place with its context.
- (e) Relocation is not considered a conservation outcome.
- (f) Facadism, where only the facade is retained of a significant building and/or structure, is considered a tokenistic approach and not an acceptable conservation outcome.
- (g) Buildings are conceived in three dimensions with their cultural significance often being partly attributed to the scale, form, detailing, use and layout of the interior. Owners and designers should retain buildings beyond their façade.
- (h) Partial demolition may be supported where the fabric to be removed has been identified as having little cultural heritage significance or is intrusive.

4.3 Change of Use

Heritage places should ideally continue to be used for the purpose for which they were built, or for a use with which they have a long association. Such uses generally require little change to the fabric of the place. However, it is recognised that in some instances adaptive reuse is often the best way to ensure a place continues to be used, cared for and valued into the future.

4.3.1 The following matters shall be taken into consideration where a change of use is proposed in relation to a place on the Heritage List, where the change of use is not exempt from the requirement to obtain development approval and works are proposed to the place:

- (a) New uses in a Heritage Listed building should require minimal alterations to the place's significant fabric and not destroy the ability to interpret the significance of the place.
- (b) The existing spaces, room layout and access patterns should be retained with limited modification. Where change is necessary wall nibs and ceiling down stands should be retained to interpret the original layout.
- (c) New uses should incorporate and preserve original finishes and fixtures.
- (d) Where a place has historically been accessible to the public, any change of use should provide some form of controlled public access.

4.4 Alterations for Residential and Commercial Buildings

Heritage Listed buildings can be adapted and changed. However, ill-considered alterations have the potential to reduce the cultural heritage value and integrity of a place. Alterations should minimise disturbance to the significant fabric in order to conserve the heritage significance of a place.

4.4.1 Facades and Windows

- (a) Alterations to significant facades (primarily the street facing elevation) should be avoided, unless restoring an original feature in the original architectural style.
- (b) New openings may be made into walls of secondary significance (such as side and rear walls). Where such openings are required it is desirable to adapt an existing window to accommodate a new door to minimise any disruption to the rhythm of the elevation.
- (c) Repairs to walls are to be undertaken in a material to match that of the original, with consideration given to colour, texture, composition, dimensions and detailing.
- (d) Original windows, including frame, architrave, sash, glass, glazing bars and hardware should be retained and conserved wherever possible.
- (e) Where windows are deteriorated beyond repair, they should be replaced to match the original in terms of size, style, materials and detailing.

- (f) Where original windows have been filled in reinstating original windows is strongly encouraged.
- (g) Double glazing can be accommodated in original windows if the installation of the glazing will not distort the original appearance of the window detail.

4.4.2 Roofs

- (a) Roof replacement should be undertaken in a like-for-like manner, where the fabric being replaced is original fabric. For example:
 - (i) Galvanised sheeting in short lengths is the preferred choice of roofing material for all heritage places that:
 - a. were originally constructed with corrugated metal roofing in short lengths; or
 - b. have been covered with corrugated metal roofing in short lengths for most of their life.
 - (ii) The replacement of an original tile roof with corrugated iron is not appropriate as it dramatically changes the appearance and character of a building.
- (b) When replacing gutters and downpipes, the original profiles and shapes should be reinstated.
- (c) Chimneys should be retained where they form an integral part of the roofscape.
- (d) Skylights are not to be visible from the public domain other than from right-of-ways and should have a vertical proportion.

4.4.3 Verandahs and Awnings

- (a) Original verandahs and awnings should be retained and conserved.
- (b) The accurate reconstruction of verandahs to a known earlier appearance is encouraged, where detailed evidence of the original exists. Surviving original awnings and verandahs within the nearby area can be used as a suitable precedent.
- (c) Verandahs/awnings should not be attached to the street façade of heritage buildings where they traditionally did not exist. However, a simple modern verandah or canopy may be contemplated where it will perform an important functional requirement, and will not have an undue adverse impact on the cultural heritage values of the place.

4.5 Additions for Residential and Commercial Buildings

Places on the Heritage List will change over time to meet the contemporary and varying needs of different occupiers. Change needs to be carefully managed so that what is significant about a place is not adversely affected. A successful addition is one that is complementary to the heritage place and one that sustains its values.

4.5.1 General Design Principles

- (a) New additions to a heritage building should not replicate the detail of the original unless the work involves an authentic restoration to original detail.
- (b) New additions should be compatible with the heritage place (able to co-exist). Compatibility requires additions or alterations to sit well with the original fabric rather than simply copying or mimicking it. High quality, good contemporary design is preferable to copying original design.
- (c) New additions should not overwhelm or dominate the Heritage Place and should preserve views to significant elevations and features.

4.5.2 Location and Form

- (a) No additions should occur within the front setback area, unless restoring an original feature.
- (b) Additions to residential buildings should be sensitively located to reduce visual impact on the original building. Additions should also retain the original building's (including the roof form and profile) primacy and integrity from the street.
- (c) Additions to residential buildings shall be located with consideration to the following:
 - (i) Additions should generally be located to the rear, or less significant elevation or fabric of the building.
 - (ii) Second storey additions should be set back behind the main ridgeline so as to not be visible from the street in front of the subject site. Line of sight is calculated 1 metre from outside the property boundary with an 'eye line' height of 1.65 metres as illustrated by the following figure:.

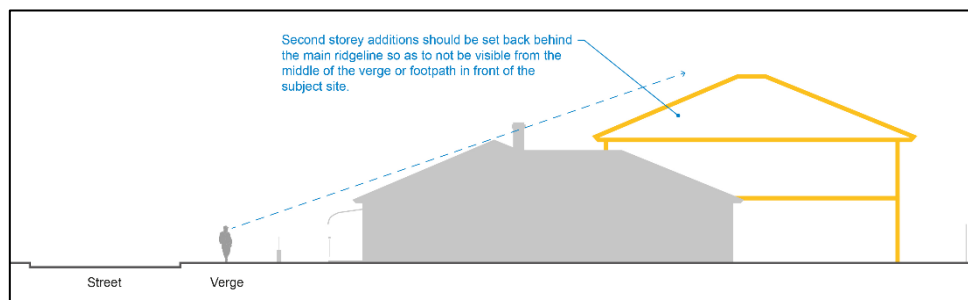


Figure 1 – Showing the use of sight lines to determine the visibility of an addition to a single house from the street.

- (d) Where additional storey(s) are proposed to a commercial building, they shall be designed to ensure that :
 - (i) The existing form and scale are respected and not overwhelmed; and
 - (ii) The addition does not interrupt or impinge on the prominence of the parapet line of the existing building. Additional levels are

to be set back to retain the integrity of the parapet and its side elevations.

- (e) Where a building on the Heritage List is located on a corner site and addresses both street frontages, the addition shall address both street frontages and be setback to retain the primacy and integrity of the original building (including the roof form and profile) as viewed from the street.
- (f) The visual bulk of additions should be minimised through articulation of larger wall lengths.
- (g) When visible from the street additions should maintain the rhythm and proportions of the original building.

4.5.3 Roof Forms

- (a) The original roof form, as seen from the public domain, should be maintained. This means that ridges, hips and gables at the front of the house should not be altered to accommodate an extension.
- (b) It is not necessary to simply extend the original roof form to accommodate an addition. Well executed flat and skillion roof forms, when used for additions can be less dominant than gabled roof forms. Figure 2 provides an example of flat and skillion roof additions to a single house.

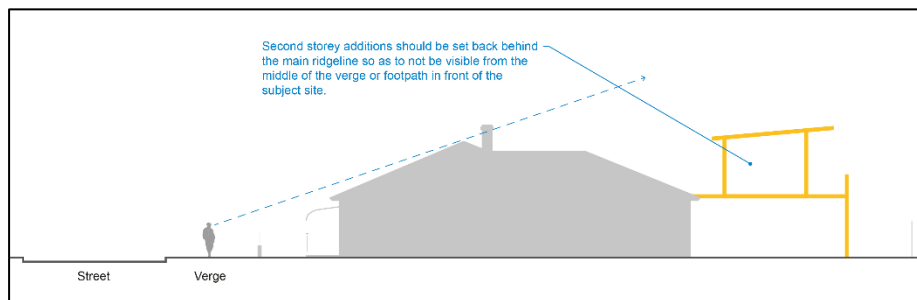


Figure 2 – Flat and skillion roof forms, when used for additions to a single house can be less dominant than gabled roof forms.

- (c) Dormer windows may be appropriate in lieu of large additions. However such windows are not to be visible from the primary street and are to be compatible with the scale and architectural character of the building.

4.5.4 Carports and Garages

- (a) Where possible vehicle access, garages and carports are to be located at the rear of the property with access from a right-of-way or side street.
- (b) Garages are not to be located in front setback areas of a building on the Heritage List. Where there is no right-of-way, garages may be accessed from the street where they are set back a minimum of 1

metre behind the front main building line of the building (not verandah or porch).

- (c) Carports should be located behind the street setback line or at the side of a building where space exists. Carports will only be permitted in the front setback where no alternative exists and should be designed in a manner that allows the visual presence of the existing building to remain the dominant visual feature when viewed from the street.
- (d) The design of a carport in the front setback area should be discreet and compatible with the character of the existing building. Simple contemporary designs can be considered.
- (e) The introduction of a carport shall not require removal of significant fabric to achieve the minimum size requirements.

4.6 Additional considerations for commercial buildings

The character and appearance of traditional commercial buildings have helped shape the City's local identity and distinctiveness. Due to the pressures of retailing and the desire to address contemporary aesthetics, many commercial buildings have been adapted over the years resulting in a gradual loss of the traditional detailing and character. These provisions seek to ensure those aspects of the commercial buildings which contribute to a place's significance are safeguarded and not further eroded.

4.6.1 Shop fronts

- (a) New works should not remove or conceal original shopfront detailing, and shall not distort an understanding of the original design (such as stallboards, transom, transom lights, awnings, and recessed entries – refer to Figure 3).
- (b) The accurate reconstruction of shopfronts to a known earlier appearance is encouraged, where detailed evidence of the original exists. It is noted that the design may need to be sympathetically adapted to ensure universal access.

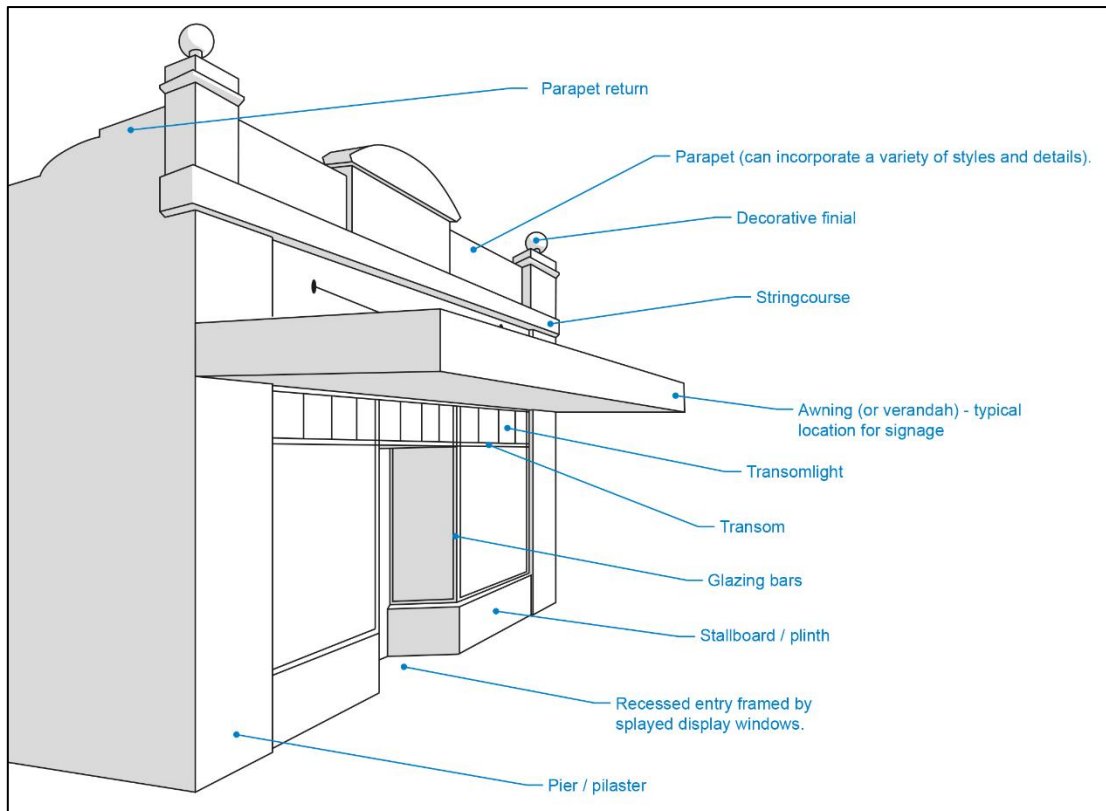


Figure 3 –Typical elements of a traditional shop front.

4.6.2 Parapets

- (a) Original parapets shall be retained and conserved.
- (b) Original detailing to parapets (such as parapet balls and pedestals) are encouraged to be reinstated where they have been removed.
 Note: A parapet on a traditional shopfront is the portion of wall along the front façade, which is built up higher than the line of a roof, to hide the roof behind. It is often embellished with detail such as decorative mouldings and pediments and will often have a short decorative return along the side elevations.

4.6.3 Signage

- (a) Original signage should be retained and conserved where extant.
- (b) Signage should not cover or obscure significant fabric or details of a place.
- (c) Signage should be placed on locations of a building that would have traditionally been used for advertising (examples of such locations may include within a verandah fascia and under an awning). Signage should not be applied to parapets except where evidence exists that signage was traditionally located on it.
- (d) Signage should be capable of being removed without causing damage to the fabric of the place (for example, insert fixings in mortar joints, rather than face brick).

4.7 Interiors for residential and commercial Buildings

The interior of a building on the Heritage List can contribute to an understanding of how a place operated and what finishes and details were employed at the time of construction. Traditional interiors can create a valued ambiance and should be treated with care.

4.7.1 The following guidelines apply to commercial and residential interiors of significance and provide guidance on how to maintain their authenticity and valued character:

- (a) Early floor treatments (such as terrazzo and timber), ceiling details (such as lathe and plaster, ceiling roses, decorative cornices) and wall finishes (such as picture rails, wood panelling) should be retained and conserved.
- (b) Historic patterns of access and movement should be retained and conserved (for example, original entrances and hallways).
- (c) New openings in walls between rooms should be avoided. However, where necessary wall nibs and down stands should be retained.

4.8 Materials and Colours

Original materials and colour schemes contribute greatly to the identity of a heritage place and help provide an understanding of traditional aesthetics and techniques. For this reason care should be taken when considering changing the colour scheme of a place on the Heritage List or when applying any form of coating.

4.8.1 The following matters shall be taken into consideration where the material and/or colour scheme of a place on the Heritage List is proposed to be modified:

- (a) Paint colours should, where possible, reinstate early paint schemes. Investigations into previous paint schemes, determined on the basis of documentary and/or physical evidence (for example, paint scrapes), is recommended to discern original paint schemes.
- (b) Previously un-rendered walls should not be rendered. Previously un-painted walls should not be painted. The application of coatings to such walls can lead to increased deterioration as such coatings can trap moisture and salts within the material.
- (c) Colour schemes that deviate from original schemes or colour schemes that are interpretive of early paint schemes may be contemplated if they do not detract from the significance of the place.
- (d) 'Corporate' colour schemes will not be supported where they overpower and detract from the traditional character and heritage values of the place.

- (e) Where there is more than one shop within a single original development, the façade of the upper floor(s) shall have a unified colour scheme. Expression of individual identity should be reflected in signage and shop displays rather than wall colour.

4.9 Front Fences

The dimensions, materiality, detailing and location of original front fences affect the context of a heritage place and often contribute to the significance of a place on the Heritage List. Therefore care should be taken when considering a new or replacement fence.

4.9.1 The following matters shall be taken into consideration where a new or replacement fence is proposed:

- (a) Original front fences and gates should be retained and conserved where possible.
- (b) When retention of an original fence is not possible, due to it being in a poor condition, it shall be rebuilt in a like-for-like manner.
- (c) The design of a new fence, or the replacement of a non-original fence, shall consider the following issues:
 - (i) The proposed fence complements the style and materiality of the heritage place.
 - (ii) A level of transparency should be retained.
 - (iii) A fence that replicates a fence style common to the period and style of the building to which it relates may be appropriate. Surviving original fences within the nearby area can be used as a suitable precedent.

4.10 Incidental Development

When installing or upgrading the services (such as air conditioning, renewable energy systems, wiring, plumbing, and fire and security devices) to a building on the Heritage List care should be taken to minimise the extent to which the works impact on significant fabric or the values of the place.

4.10.1 The installation of new services to interiors should be undertaken sensitively in an inconspicuous location with minimal damage to the fabric of the place. For example:

- (a) Grilles and vents should be placed in discrete locations and not be installed through decorative pressed tin or plaster ceilings.
- (b) Conduit or cabling should not run along the surface of a wall, dependent on the wall's construction it may be appropriate to channel cabling into the wall or to run it through internal wall cavities.
- (c) Care should be taken not to permanently damage any skirting, picture rails, architraves or ornate cornices when installing services.

4.10.2 The visual setting of the place, particularly its main frontage and roof form, should be maintained. New systems should not detract from the visual presentation of the place to the public realm or significant vista. For example:

- (a) Services should be placed on side or rear elevations to reduce their visual impact.
- (b) Where conduit or cabling is required to run along the surface of an external wall it should be painted in a colour to match the wall on which it sits.
- (c) External condenser units should not be located next to limestone or soft brickwork as warm air and water expelled from such units may increase evaporation from the wall surface resulting in salt damage and rising damp.

4.10.3 Fixings and anchor points should, as much as possible, utilise existing points or be located so as to minimise damage to significant fabric.

4.10.4 Installation of aluminium security screens or other heavy style screens is generally unacceptable, however treatments which have minimal visual impact may be acceptable.

4.11 Maintenance and Conservation Works

The ongoing care and maintenance of places on the Heritage List is the key to their longevity. A CMP is a useful document for a heritage place, which will clarify the particular opportunities, requirements and constraints associated with managing and maintaining a heritage place.

4.11.1 In the absence of a CMP, the following maintenance and conservation provisions shall apply to places on the Heritage List:

- (a) If major works are proposed and where a development bonus is being sought on the grounds of heritage conservation, maintenance (and any other urgent conservation works) should be undertaken as an integral part of the project.
- (b) Repairs to pointing and render should be undertaken in a similar strength, colour, and composition to match existing.
- (c) Care needs to be taken in alterations to ground levels around existing buildings to ensure that new levels will not impede moisture removal, negate the function of damp-proof courses or damage vulnerable wall construction.
- (d) Rainwater discharge needs to be terminated well away from walls. This is especially true of older and softer brick walls, and random rubble walls (or similar).
- (e) Ensure air vents remain unblocked and functional as they reduce moisture accumulation and enable the movement of air and other vapours from the building.