

Local Planning Policy 1.1 Residential Development – Single Houses and Grouped Dwellings

This information sheet summarises and explains the policy provisions of Local Planning Policy 1.1 (LPP 1.1). This should be read in conjunction with City of Subiaco Local Planning Policy 1.1 and State Planning Policy 7.3 Residential Design Codes Volume 1 (R-Codes Volume 1).

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Disclaimer: this information sheet provides an overview of the policy and further explanations and additional diagrams to assist understanding of the LPP. Please read Local Planning Policy 1.1 for detailed policy provisions and specific policy wording. To avoid any doubt, this information sheet is not a LPP in and of itself and is not a matter to be considered under clause 67 of the Planning and Development (Local Planning Schemes) Regulations 2015 and is provided for guidance only. This information sheet does not represent a decision of any development approval, or prejudice any future decision on any application for development approval by Council or by City Officers acting under delegated authority.

General information

Further Explanation of Definitions

A list of definitions is included in LPP 1.1 and the following terms are explained in further detail.

Character: The City's Local Planning Strategy 2020 defines character as follows:

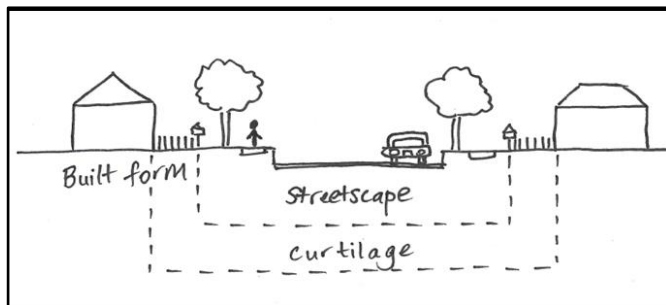
Character reflects the dynamic relationship between built form and its setting. It encompasses key elements in both public and private land and it is the combination of these elements that makes a place unique.

Built form includes:

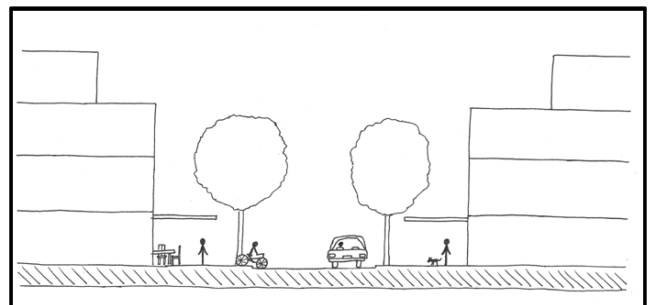
- Bulk, scale, type and form/orientation of buildings;
- Materials, design elements and architectural features; and
- Building setbacks from street and lot boundaries.

Setting includes:

- Lot configuration;
- Streetscape – street trees, road and verge treatments;
- The natural environment – topography, landscaping, waterways;
- Use of buildings, such as residential, commercial or a mixture of both; and
- Curtilage – the elements in the public and private realms between the front façades of buildings on both sides of the street.



Streetscape character – low density



Streetscape character – medium density and mixed use

Grouped dwelling: two or more houses on the same lot, or on strata titled lots that include common property (e.g. a common driveway), often referred to as townhouses or villas. For a technical definition refer to State Planning Policy 7.3 Residential Design Codes Volume 1 (R-Codes Volume 1).

Single house: a separate house on its own lot. For a technical definition refer to R-Codes Volume 1.

Streetscape: State Planning Policy 7.3 Residential Design Codes Volume 2 (R-Codes Volume 2) defines streetscape as follows:

The visible components in a street between the facing buildings, including the form of the buildings, garages, setbacks, fencing, driveways, utility services, street surfaces, street trees and street furniture such as lighting, signs, barriers and bus shelters.

What do the different sub-precincts mean?

Note: a map showing the sub-precincts is included in LPP 1.1 clause 8.2 sub-precinct map.

Sub-precinct 1 and 2: unique character area to be retained and enhanced.

Sub-precinct 3: areas without distinct character, generally developed based on the R-Codes Volume 1 provisions.

Sub-precinct 4: areas transitioning to higher density and interface areas between low and higher density (density interface).

Sub-precinct 5: Areas developed under the Metropolitan Redevelopment Authority in accordance with Subiaco Redevelopment Scheme No. 2.

Relationship with R-Codes Volume 1

LPP 1.1 amends or replaces specific deemed-to-comply provisions of the R-Codes Volume 1. The LPP is to be read in conjunction with the R-Codes Volume 1. Relevant design principles and deemed-to-comply provisions of the R-Codes Volume 1 that have not been modified by this LPP still apply.

Where a proposal does not meet deemed-to-comply provision(s) and addresses design principle(s) of the R-Codes Volume 1, the decision-maker is required to exercise judgement to determine the proposal.

The following deemed-to-comply provisions of the R-Codes Volume 1 have been amended by LPP 1.1:

- 5.1.2 Street setback C2.1, C2.2, and C2.4
- 5.1.6 Building height
- 5.1 Setback of garages and carports C1.1, C1.2, C1.4, and C1.5
- 5.2.2 Garage width
- 5.2.3 Street surveillance C3.1, and C3.2
- 5.2.4 Street walls and fences

Local housing objectives

LPP 1.1 augments the R-Codes Volume 1 by providing local objectives for housing design and development that guide the assessment of proposals. LPP 1.1 includes local housing objectives for each sub-precinct.

Sub-precinct 1 and 2

Purpose of sub-precinct 1 and 2 provisions

To ensure new development is designed to be sympathetic to the existing character of the area, to positively contribute to the streetscape in which the development is set and to achieve high quality built form outcomes. Contemporary design solutions are encouraged provided the development reflects the existing neighbourhood character. Additions visible from the street should complement the design of the house, including roof form and pitch, building materials and scale and proportion of building elements such as windows, doors and verandahs.

Table 1 – sub-precinct 1 and 2 provisions

LPP 1.1 deemed-to-comply provisions applicable to sub-precinct 1 and 2:

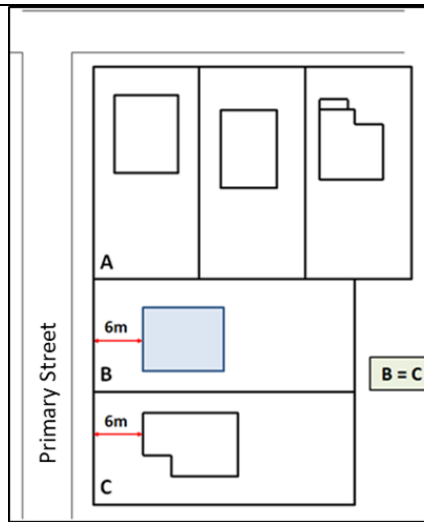
Notes:

- Design Principles are as per the R-Codes Volume 1
- Refer to specific provisions for sub-precinct 2 relating to garages and carports, and street walls and fences.

R-Codes Volume 1 Provision	Summary of LPP 1.1 Provision	
5.1.2 Street setbacks		
Deemed-to-comply provision C2.1 of the R-Codes is replaced	<u>Ground floor mid-block location:</u> Setback from the street boundary to the main building line of the house corresponding to the average of the setbacks on either side of the proposed new house.	<div><div><div>Street</div><div><div><div><div>A</div><div><div>4m</div></div></div><div><div><div>B</div><div><div>5m</div></div></div><div><div><div>C</div><div><div>6m</div></div></div></div><div>Development site</div></div></div><div><div>$B = \frac{A + C}{2}$</div></div></div></div></div>
	<u>Ground floor street corner location:</u> Setback from the primary street boundary to the main building line of the house corresponding to the average of the setbacks on either side of the proposed new house, notwithstanding the secondary street separating the development site from the adjoining lot.	<div><div><div><div><div>Primary Street</div><div><div><div>A</div><div><div>4m</div></div></div><div><div><div>B</div><div><div>5m</div></div></div><div><div><div>C</div><div><div>6m</div></div></div></div><div>Secondary Street</div></div></div><div><div>$B = \frac{A + C}{2}$</div></div></div></div></div></div>

Ground floor at the end of a street:

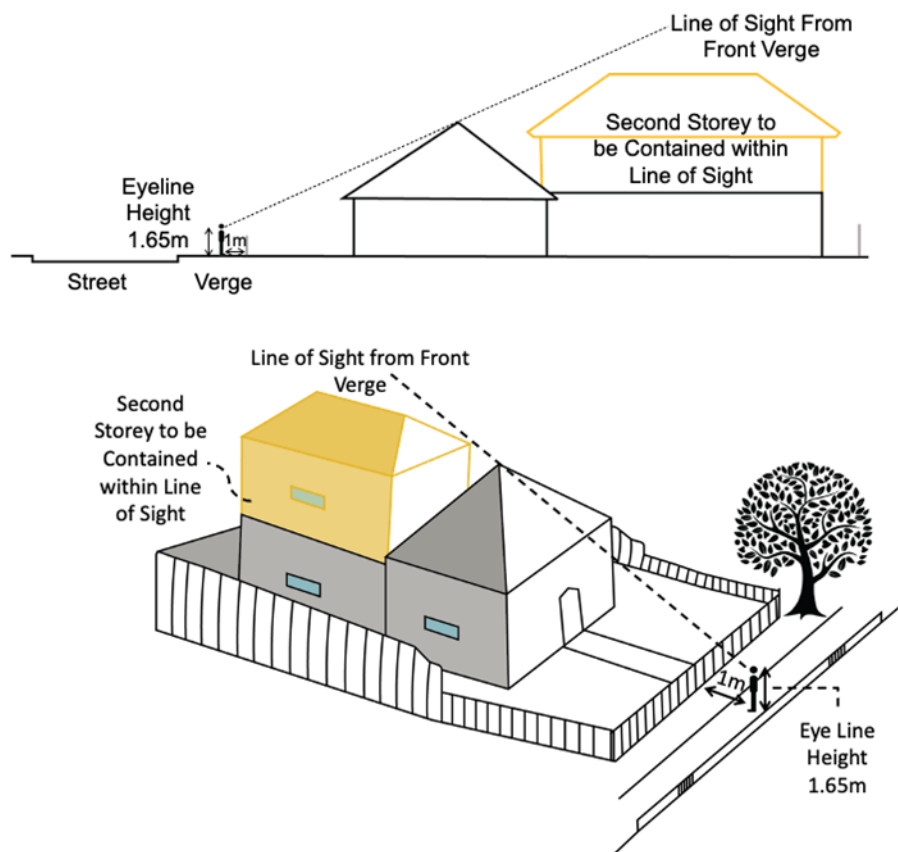
Setback from the street boundary to the main building line of the house is measured based on the neighbouring house facing the same street.



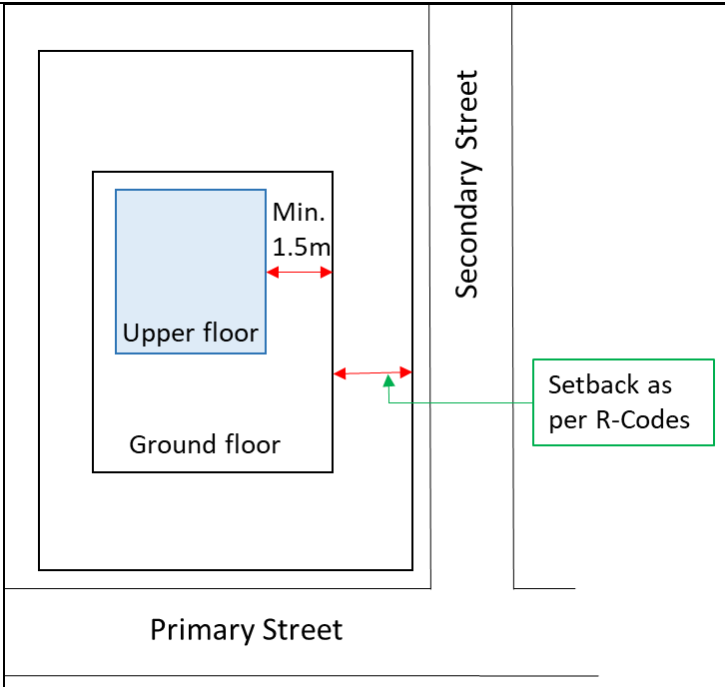
Upper storey:

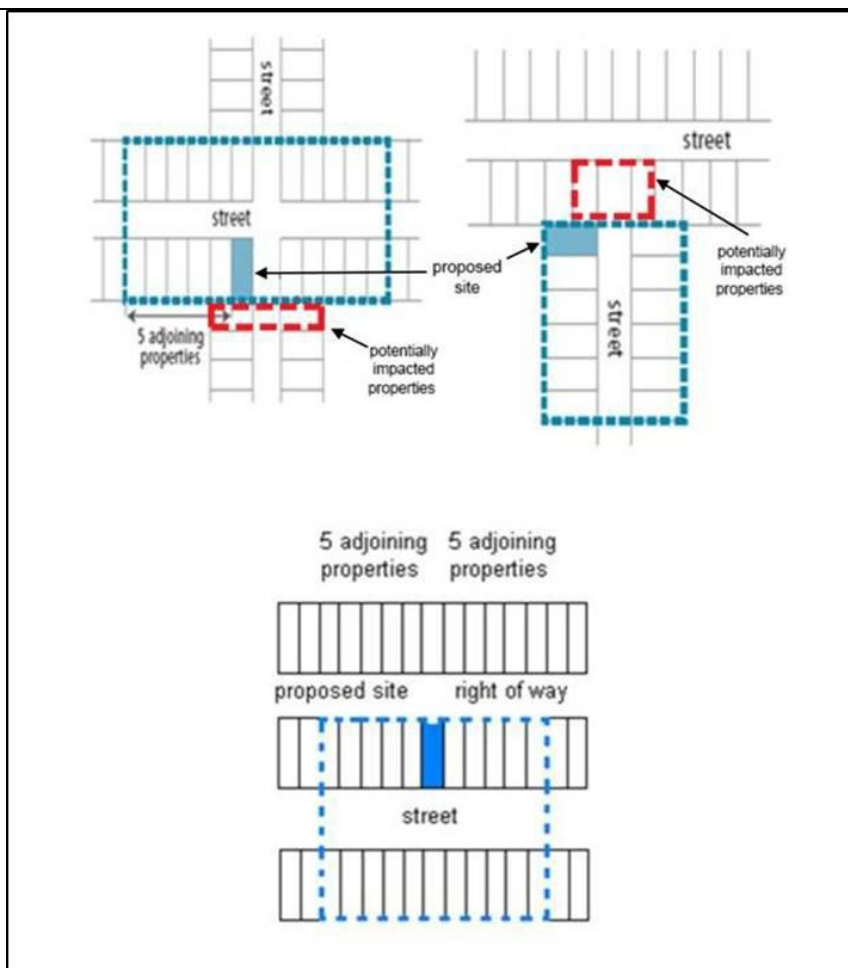
Where an upper storey is considered appropriate (see 5.1.6 Building Height below), this should be setback behind the line of sight to maintain the appearance of a single storey streetscape. An upper storey is assessed based on impact on adjoining properties, including overshadowing, visual privacy (overlooking) and building bulk.

An upper storey that is wholly contained within the roof space of a single storey house is acceptable.



- The line of sight for each property will vary depending on the wall height, roof pitch and overall height of the dwelling.
- Generally the line of sight is taken from the middle of the street boundary, but this may vary depending on the specific development – e.g. where the ground floor building line varies, the line of sight is taken from the 'worst case scenario'.

	<ul style="list-style-type: none">The line of sight may not always mean that the upper floor is wholly concealed from view from the street – e.g. depending on the size of the upper floor, roof form and pitch, it may be visible either side of the ground floor ridge. However, it may still meet the line of sight requirement.Line of sight is measured from ridgeline of house, not from a verandah, carport, garage etc.						
Deemed-to-comply provision C2.2 of the R-Codes is replaced	<p><u>Secondary Street setback:</u></p> <p>Ground floor: In accordance with Table 1 of the R-Codes Volume 1 as follows:</p> <table><tr><th>Density</th><th>Min. setback</th></tr><tr><td>R15-R35</td><td>1.5m</td></tr><tr><td>R40 and above</td><td>1.0m</td></tr></table> <p>Upper floor: Where applicable, the upper floor of all development is to be setback a minimum of 1.5 metres from the ground floor secondary street façade.</p> 	Density	Min. setback	R15-R35	1.5m	R40 and above	1.0m
Density	Min. setback						
R15-R35	1.5m						
R40 and above	1.0m						
Deemed-to-comply provision C2.4 of the R-Codes is replaced	<p>Buildings mass and form to comply with the following:</p> <p>For all development the following applies:</p> <ol style="list-style-type: none">Façades facing the street (both primary and secondary streets):<ol style="list-style-type: none">Façades to be articulated to provide interest to the street. Examples include the use of verandahs, different materials and finishes, stepped façades and similar.No blank walls and featureless façades to face the street.Design elements visible from the street to reflect the scale and proportion of traditional building elements where this is predominant in the surrounding area. <p>For new development, other than additions, the following applies:</p> <ol style="list-style-type: none">Roof pitch:<ol style="list-style-type: none">Where the roof is visible from the street the roof pitch is to reflect the predominant roof pitch of the surrounding area as it relates to the street.Where no predominant roof pitch is evident in the surrounding area, the roof pitch to be within the range of pitches evident in the surrounding area.Roof form: to complement the surrounding area. A contemporary interpretation is acceptable.Materials: Use of a combination of contemporary and/or traditional materials to complement the surrounding area <p>The reference to ‘surrounding area’ is in accordance to the definition within LPP 1.1 and is depicted in the diagram below. Generally, this refers to the five properties on either side of the development site on both sides of the street (excluding laneways/rights of way) that the house is oriented towards.</p>						



For additions to an existing house the following applies:

- Additions to reflect the roof form and pitch of the existing house where visible from the street.
- Materials are to complement the existing house.

5.1.6 Building height

Deemed-to-comply provision C6 of the R-Codes is replaced

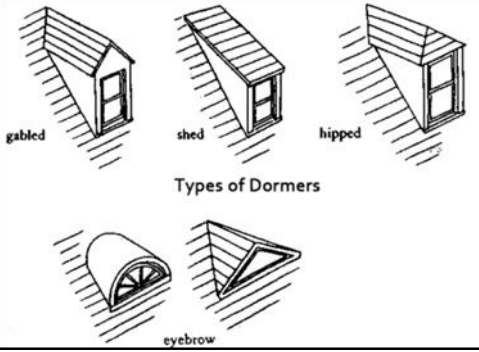
Single storey (Category A) development as of right.

The applicable building heights have been varied by clause 26 of Local Planning Scheme No. 5 (LPS 5) and are as follows:

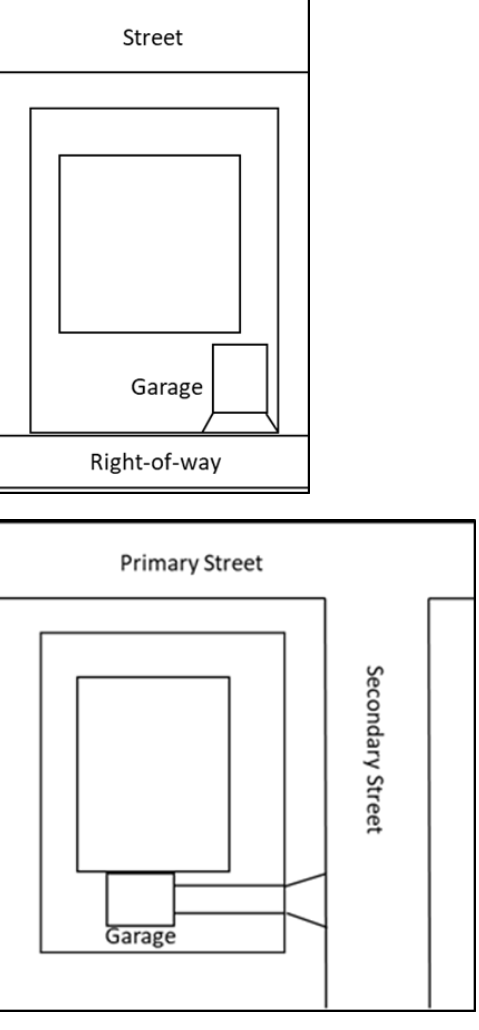
Building element:	Category A height:	Category B height:
Top of external wall	3.6m	6m
Top of external wall (concealed roof)	4m	7m
Top of pitched roof	6.5m	9m

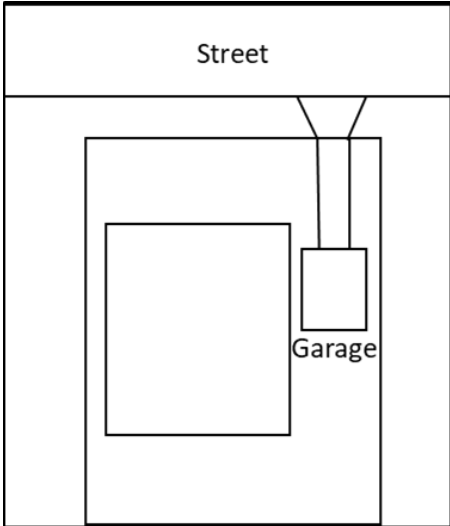
Note: the building height limits are not affected by any changes to the R-Codes Volume 1 as they are set in LPS 5.

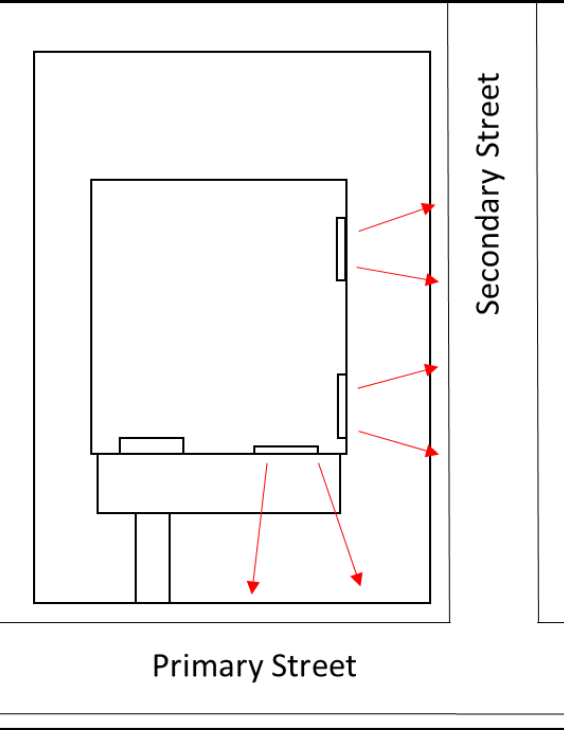
A second storey (Category B) can be considered in accordance with the specific criteria listed in the design principle P6 of R-Codes Volume 1, provided the upper storey creates no adverse impact on the amenity of adjoining properties or the streetscape, including overshadowing, visual privacy (overlooking) and building bulk. Where a second storey is considered acceptable, the line-of-sight requirements apply (see 5.1.2 Street setbacks above).

	<p>Dormers are not included in the measurement of wall height except where the front wall of a dormer runs contiguous with a wall below it. It is up to the City to determine what constitutes, and would be considered a dormer for assessment purposes.</p>	 <p>The diagram illustrates five types of dormers: 'gabled' (a simple gable roof), 'shed' (a single-sloped roof), 'hipped' (a roof with slopes on all four sides), 'eyebrow' (a curved, arched roof), and a central label 'Types of Dormers'.</p>
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5.2.1 Setback of garages and carports (Sub-precinct 1 only)

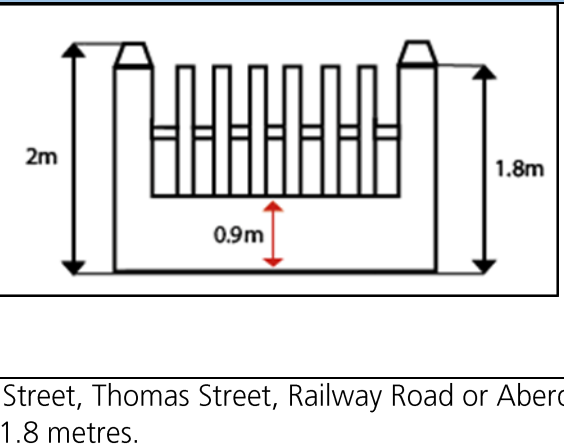
<p>Deemed-to-comply provisions C1.1, C1.2, C1.4 and C1.5 of the R-Codes are replaced</p>	<p>Having regard to access and site constraints, garages and carports are to be located (in order of preference):</p> <ul style="list-style-type: none"> i. Preferably at the rear of the property behind the house, to be accessed from a right-of-way (laneway) where available. ii. Where no right-of-way (laneway) is available, at least 1 metre behind the main building line of the house with access from the secondary street. 	 <p>The top diagram shows a property layout with a 'Street' at the top, a 'Right-of-way' at the bottom, and a 'Garage' located between them, accessed from the right-of-way. The bottom diagram shows a property layout with a 'Primary Street' at the top, a 'Secondary Street' on the right, and a 'Garage' located between the primary and secondary streets, accessed from the secondary street.</p>
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	<p>iii. Where no alternative location is available, at least 1 metre behind the main building line of the house with access from the primary street.</p>	
	<p>Where no other option exists to locate a carport or garage in accordance with the provisions above:</p> <p>Single width carports are permitted within the primary or secondary street setback area only where they are a predominant feature within the surrounding area, provided the carport meets the following criteria:</p> <ul style="list-style-type: none">i. The width of the carport shall not exceed 50% of the width of the dwelling façadeii. Designed to the minimum dimensions of the relevant Australian Standardiii. Lightly framed and roofed, allowing views between the dwelling and the street.	
<p>Note: C1.3 of the R-Codes has not been replaced and still applies.</p>		
<p>Deemed-to-comply provision C2 of the R-Codes is replaced</p>	<p>Where a garage is permitted under 5.2.1 C1.1 ii. and iii. a garage door and its supporting structures is not to occupy more than 50% of the frontage at the main building line as viewed from the street.</p>	
<p>5.2.3 Street surveillance</p>		
<p>Deemed-to-comply provisions C3.1 and C3.2 of the R-Codes are replaced</p>	<p>The main façade of any new house is to be oriented towards the primary street ensuring that:</p> <ul style="list-style-type: none">i. the entrance to a house is clearly visible and accessible from the primary street; andii. at least one window to a habitable room (e.g. living room, bedroom, study etc.) has a clear view of the primary street. <p>In the case of corner lots, the secondary street façade is to be</p>	

	<p>oriented towards the secondary street ensuring that:</p> <ul style="list-style-type: none"> i. the secondary street façade is articulated with windows; and ii. at least one window to a habitable room has a clear view of the secondary street. <p>Blank walls and featureless façades facing the street (both primary and secondary streets) are not acceptable.</p>	 <p>The diagram illustrates a building's footprint and its orientation. The building is shown with a primary street frontage (bottom) and a secondary street frontage (right). Red arrows point to windows on the secondary street frontage, indicating that the façade must be articulated with windows and provide clear views of the secondary street. The primary street frontage is also shown with windows.</p>
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Note: C3.3 of the R-Codes has not been replaced and still applies.

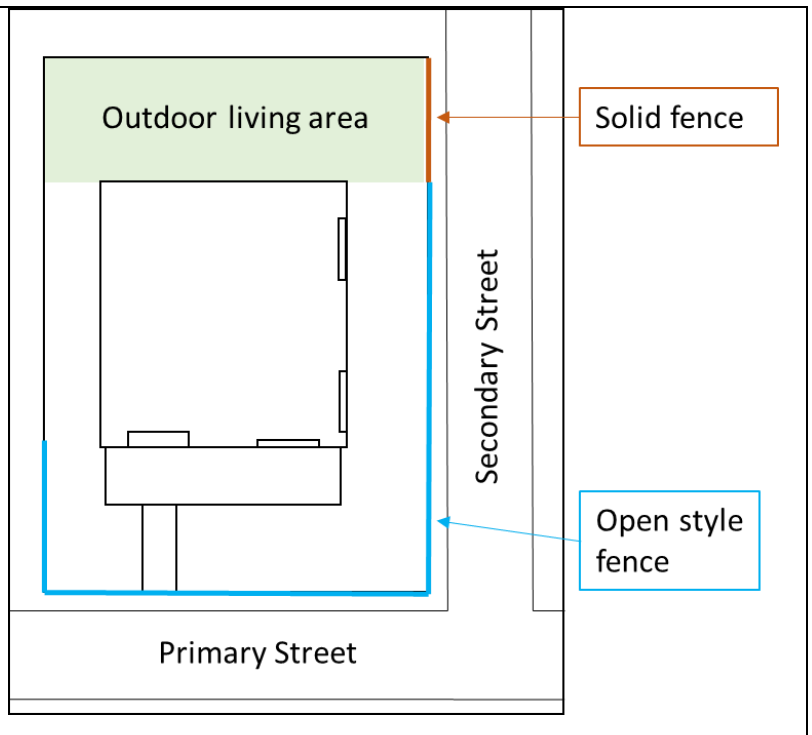
5.2.4 Street walls and fences (sub-precinct 1 only)

<p>Deemed-to-comply provision C4.1 and C4.2 of the R-Codes are replaced</p>	<p><u>Primary Street fences:</u></p> <p>Front fences to have a maximum height of 1.8 metres and be visually permeable above a height of 0.9 metres. The height, style and design of front fences should reflect those predominant within the surrounding area.</p>	 <p>The diagram shows a cross-section of a front fence. The total height of the fence is 1.8 metres. The section above 0.9 metres is visually permeable, with vertical bars or slats. The section below 0.9 metres is solid. The fence is shown with a 2m wide base.</p>
	<p>On major roads (Selby Street, Hay Street, Thomas Street, Railway Road or Aberdare Road) front fences can be solid to a height of 1.8 metres.</p>	

Secondary Street fences:

Secondary street fences that screen an outdoor living area, provided it is located behind the front setback line, can be solid and have a maximum height of 1.8 metres.

Secondary street fences that don't screen an outdoor living area have to be open in style (visually permeable) above a solid base of up to 0.9 metres. The total fence height can be maximum 1.8 metres. The height, style and design of secondary street fences should reflect those predominant within the surrounding area.



Sub-precinct 2

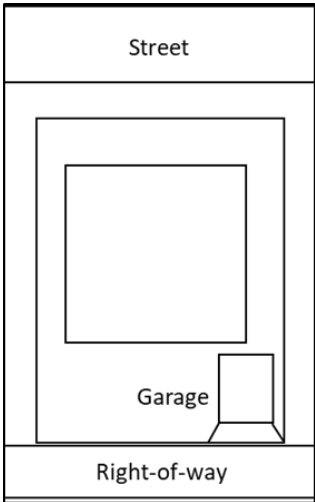
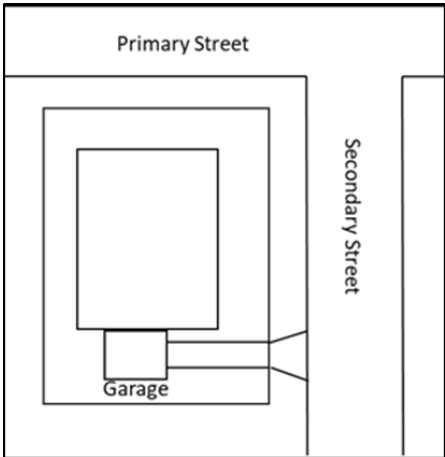
Purpose of sub-precinct 2 provisions

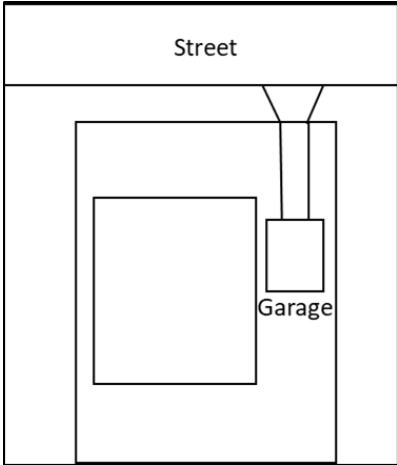
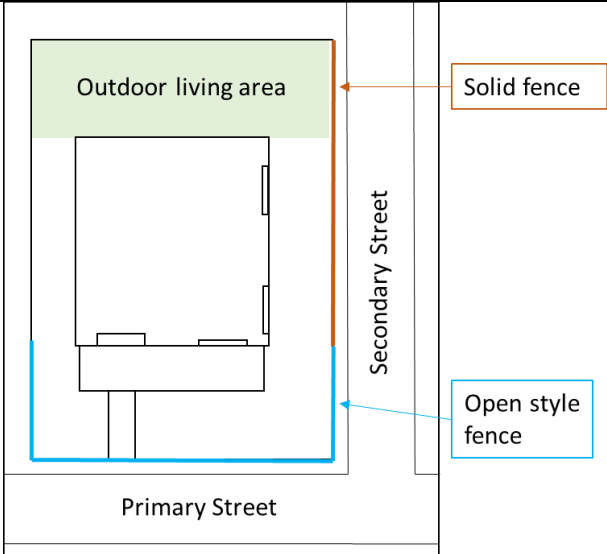
To ensure new development is designed to be sympathetic to the existing character of the area, to positively contribute to the streetscape in which the development is set and to achieve high quality built form outcomes. Contemporary design solutions are encouraged provided the development reflects the existing neighbourhood character. Additions visible from the street should complement the design of the house, including roof form and pitch, building materials and scale and proportion of building elements such as windows, doors and verandahs.

Table 2 – sub-precinct 2 provisions (additional to Table 1 sub-precinct 1 and 2 provisions)

LPP 1.1 deemed-to-comply provisions applicable to sub-precinct 2:

Note: Design Principles are as per the R-Codes Volume 1

R-Codes Volume 1 Provision	Summary of LPP 1.1 Provision	
5.2.1 Setback of garages and carports		
Deemed-to-comply provisions C1.1, C1.2, C1.4 and C1.5 of the R-Codes are replaced	Having regard to access and site constraints, garages and carports are to be located (in order of preference): <div><div>i.</div><div>Preferably at the rear of the property behind the house, to be accessed from a right-of-way (laneway) where available.</div></div>	 <p>The diagram shows a rectangular property. At the top is a horizontal strip labeled 'Street'. Below it is a large rectangle representing the house. To the right of the house, at the bottom, is a smaller rectangle labeled 'Garage'. A narrow vertical strip, labeled 'Right-of-way' at the bottom, runs between the house and the street, providing access to the garage.</p>
	<div><div>ii.</div><div>Where no right-of-way (laneway) is available, at least 1 metre behind the main building line of the house with access from the secondary street.</div></div>	 <p>The diagram shows a rectangular property. At the top is a horizontal strip labeled 'Primary Street'. Below it is a large rectangle representing the house. To the right of the house is a vertical strip labeled 'Secondary Street'. A small rectangle labeled 'Garage' is located at the bottom of the house, with a line indicating access from the secondary street.</p>

	<p>iii. Where no alternative location is available, at least 1 metre behind the main building line of the house with access from the primary street.</p>		
	<p>Carports are to be located in accordance with the provisions above; or:</p> <p>Carports are permitted within the primary or secondary street setback area, provided the carport meets the following criteria:</p> <ul style="list-style-type: none">i. Designed to the minimum dimensions of the relevant Australian Standardii. Lightly framed and roofed, allowing views between the dwelling and the street.		
	<p>Note: C1.3 of the R-Codes has not been replaced and still applies.</p>		
Deemed-to-comply provision C2 of the R-Codes is replaced	<p>Where a garage is permitted under 5.2.1 C1.1 ii. and iii. a garage door and its supporting structures is not to occupy more than 50% of the frontage at the main building line as viewed from the street.</p>		
5.2.4 Street walls and fences			
Deemed-to-comply provision C4.1 and C4.2 of the R-Codes are replaced	<p><u>Primary Street fences:</u></p> <p>Front fences to have a maximum height of 0.9 metres. The style and design of front fences should complement the home and be sympathetic to the surrounding area.</p> <p><u>Secondary Street fences:</u></p> <p>Secondary street fences can be solid and have a maximum height of 1.8 metres.</p>		

Sub-precinct 3

Purpose of sub-precinct 3 provisions

To enable new development to generally occur in accordance with the provisions of the R-Codes Volume 1, while providing additional guidance on building height and front fences.

Table 3 – sub-precinct 3 provisions

LPP 1.1 deemed-to-comply provisions applicable to sub-precinct 3:

Note: Design Principles are as per the R-Codes Volume 1

R-Codes Volume 1 Provision	Summary of LPP 1.1 Provision
5.1.6 Building height	
Deemed-to-comply provisions C6 of the R-Codes is replaced	<u>Land with a density code of less than R50:</u> Buildings on land coded less than R50 (i.e. densities between R15 and R40) are limited to a maximum building height of two storeys in accordance with Category B (two storeys) in the R-Codes Volume 1.
	<u>Land with a density code of R50 and above:</u> Buildings on land with a density code of R50 and above are limited to a maximum building height of three storeys in accordance with Category C (three storeys) in the R-Codes Volume 1, subject to the following: <ul style="list-style-type: none">i. The lot does not abut any land with a density code of R30 or lower; andii. The new development is designed to minimise any negative impact on the streetscape and adjoining properties, including:<ul style="list-style-type: none">a. Overshadowingb. Visual privacyc. Appearance of bulk and blank walls facing neighbouring properties
5.2.4 Street walls and fences	
Deemed-to-comply provision C4.1 and C4.2 of the R-Codes are replaced	<u>Primary Street fences:</u> Front fences to have a maximum height of 1.8 metres and be visually permeable above a height of 1.2 metres. The style and design of front fences should complement the home and be sympathetic to the surrounding area.
	On major roads (Selby Street, Hay Street, Thomas Street, Railway Road or Aberdare Road) front fences can be solid to a height of 1.8 metres.

Sub-precinct 4

Purpose of sub-precinct 4 provisions

To encourage new development in areas expected to change over time to be of high quality contemporary design whilst being respectful to any neighbouring areas at lower density and/or different character. In areas at the interface of different densities the policy provisions provide for a considered transition between densities.

Table 4 – sub-precinct 4 provisions

LPP 1.1 deemed-to-comply provisions applicable to sub-precinct 4:

Note: Design Principles are as per the R-Codes Volume 1

R-Codes Volume 1 Provision	Summary of LPP 1.1 Provision	
5.1.2 Street setbacks		
Deemed-to-comply provision C2.1 of the R-Codes is replaced	<u>Street setback at density interface:</u> Where a side boundary of the development site is located at the interface of two different densities (e.g. the development site is R50 or higher and the neighbouring property is R40 or lower), the setback is to be determined by the average of the minimum setbacks of both densities.	<div><div>Street</div><div><div><div>2m</div><div>A</div><div>≥R50</div></div><div><div>3m</div><div>B</div><div>Development site ≥R50</div></div><div><div>4m</div><div>C</div><div>≤R40</div></div></div><div><div>$B = \frac{A + C}{2}$</div></div></div>
	<u>Street setback – established setback pattern:</u> Where an established street setback pattern exists, the primary street setback to reflect the established street setback.	<div><div><div><div>Intersecting street</div><div><div><div><div>A</div><div>B</div><div>C</div><div>D</div><div>E</div><div>F</div></div><div>$(A+B+C+D+E+F) \div G$</div><div>G (No. of properties)</div></div><div>Intersecting street</div></div></div></div></div>
	<u>Street setback – all other circumstances:</u> Only where the above provisions do not apply, in accordance with the provisions of the R-Codes.	

Deemed-to-comply provision C2.2 of the R-Codes is replaced	<p><u>Secondary street or right-of-way (laneway) setback:</u></p> <p>Where the development site is located at the interface of two different densities across the secondary street, the upper floor of all development is to be setback a minimum of 1.5m from the ground floor secondary street façade.</p> <p>Only where the above provision does not apply, in accordance with Table 1 of the R-Codes.</p>	
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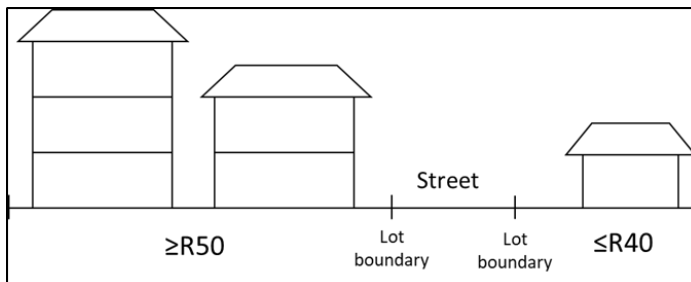
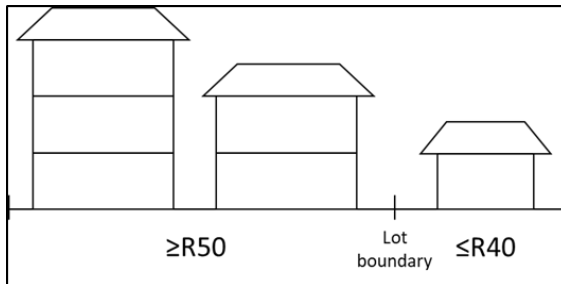
Deemed-to-comply provision C2.4 of the R-Codes is replaced	<p>Buildings mass and form to comply with the following:</p> <ol style="list-style-type: none"> The design of new development to be high quality and contemporary in style whilst being respectful to the existing character of adjoining low density areas and to the bulk, scale and proportions of existing dwellings and streetscapes within areas transitioning to a higher density. Facades to be articulated to provide interest to the street. Examples include the use of verandahs, different materials and finishes, stepped facades and similar. No blank walls and featureless facades to face the street. Where a development interfaces with lower density land, the development is to be designed to reduce any negative impacts on the lower density land with regard to matters such as overshadowing, visual privacy, building bulk. Where a development abuts an existing single storey dwelling at any density, any portion with a building height above the maximum wall height for two-storey (Category B) buildings is to be setback an additional 1.5 metres from the lot boundary adjacent to the single storey dwelling (see diagram below). 	
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5.1.6 Building height

Deemed-to-comply provision C6 of the R-Codes is replaced	<p>Building height in accordance with the following:</p> <p><u>R40 density or less:</u></p> <p><u>R50 density and above:</u></p>	<p>Two storeys in accordance with Table 3 of the R-Codes for Category B (two storeys) buildings.</p> <p>Three storeys in accordance with Table 3 of the R-Codes for Category C (three storeys) buildings, subject to compliance with the additional setback requirements in 5.1.2 C2.4v</p>
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Density interface:

Where a development abuts land with a density code of R40 or less (including across a public street), a single house, or a grouped dwelling abutting the lower density land, is limited to two storeys in accordance with Table 3 of the R-Codes for Category B (two storeys) buildings.



5.2.3 Street surveillance

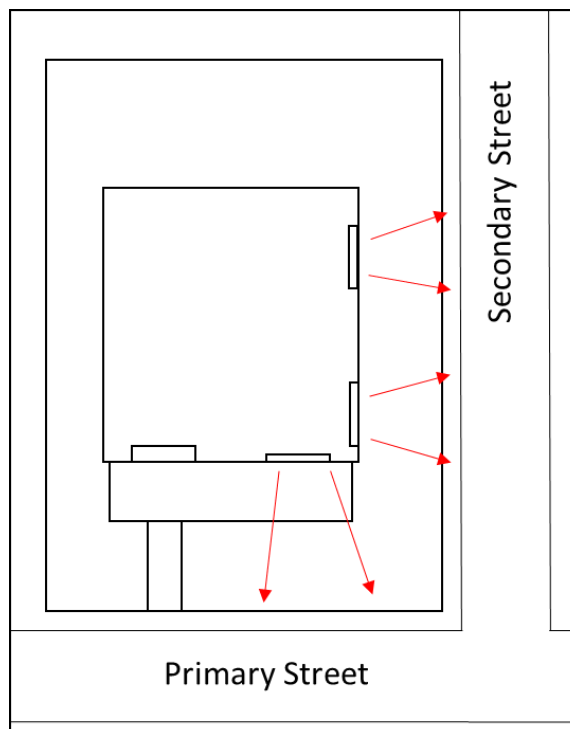
Deemed-to-comply provisions C3.1 and C3.2 of the R-Codes are replaced

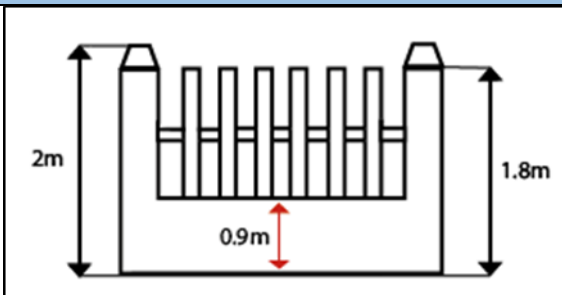
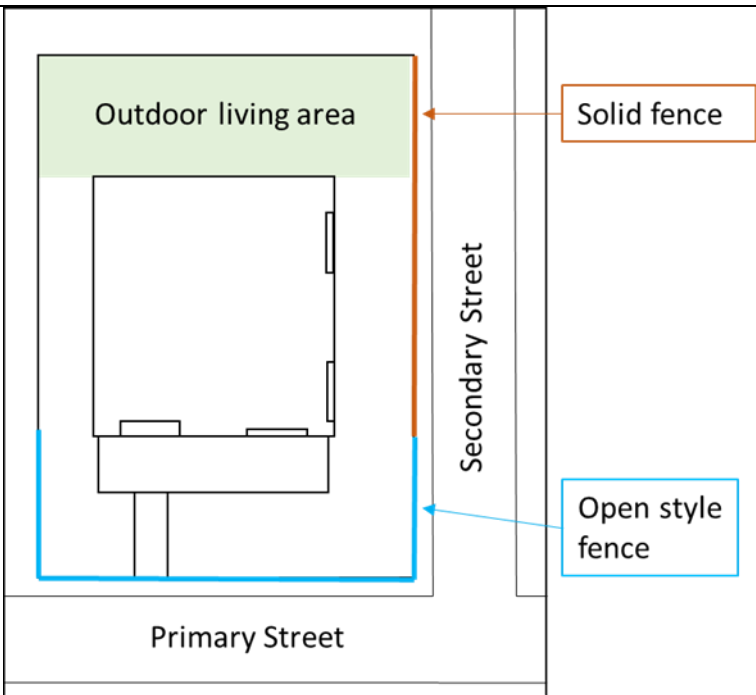
The main façade of any new house is to be oriented towards the primary street ensuring that:

- i. the entrance to a house is clearly visible and accessible from the primary street; and
- ii. at least one window to a habitable room (e.g. living room, bedroom, study etc.) has a clear view of the primary street.

In the case of corner lots, the secondary street façade is to be oriented towards the secondary street ensuring that:

- i. the secondary street façade is articulated with windows; and
- ii. at least one window to a habitable room has a clear view of the secondary street.



	Blank walls and featureless façades facing the street (both primary and secondary streets) are not acceptable.		
Note: C3.3 of the R-Codes has not been replaced still applies.			
5.2.4 Street walls and fences			
Deemed-to-comply provision C2.1 and C2.2 of the R-Codes are replaced	<u>Primary Street fences:</u> Front fences to have a maximum height of 1.8 metres and be visually permeable above 0.9 metres. The height, style and design of front fences should reflect those predominant within the surrounding area.		
	<u>Secondary Street fences:</u> Secondary street fences can be solid and have a maximum height of 1.8 metres.		

Sub-precinct 5

Purpose of sub-precinct 5 provisions

To ensure new development occurs in sympathy with the existing development pattern, built form controls and design requirements established the Metropolitan Redevelopment Authority.

Sub-precinct 5 provisions

Any development in sub-precinct 5 is guided by the policies and design guidelines prepared by the Metropolitan Redevelopment Authority under Subiaco Redevelopment Scheme No. 2. These policies and design guidelines are available on the City's website [here](#).

To read the full policy or find out more information:

- Visit <https://www.subiaco.wa.gov.au/plan-build/plan>
- Contact the City's Planning Services at city@subiaco.wa.gov.au or phone on 9237 9222

Administrative	
Published	15 March 2022